



As requested by YOU, we visited the site on DATE, from approximately TIME to TIME. The entire site visit was also observed by YOUR NAME. We reviewed the construction documents provided to us by YOU, both at the site and during the writing of this report, and have the following comments:

**Building Exterior:**

The building exterior is generally in great shape inasmuch as the building has been recently completed, i.e.- paint, lower 12' of anti-graffiti coatings, etc.

- a. It is noted that it appears that the exterior storefront window frames and glazing haven't been professionally cleaned since the building's completion, inasmuch as there is dirt, water-stained, lower glazing panes, and a small amount of excess window caulking on the glazing itself. The painter has painted over the storefront-to-concrete panel caulking and, in some cases, it has started to peel and separate from the caulking. **(See Photo #1 on page 2).**

- b. It is suggested that the north west hollow-metal exit door has a sheet metal overhead drip guard installed on the door header to prevent water from running down the tilt-up wall and into the top of the door itself. This eventually leads to interior door rusting if not installed. **(See Photo #2 hereon).**
- c. Although not noted on the drawings, but seen in the field, check to see if the city requires “Compact” painted stencils at the compact stalls.
- d. Although not noted on the drawings, it is suggested that two or three 48” concrete parking bumpers be installed at the three compact stalls to the left of the building’s main entry that abut the two standard parking stalls. This will prevent a vehicle from hitting the car parked in the standard stall to the West of the building. **(See Photo #3, hereon).**
- e. There are two approximately 3” diameter holes in the asphalt driveway just north of the concrete entry approach where the temporary fencing and gates have been removed. Fill the holes and cap with asphalt and remove residual chain link protruding from the asphalt on the easterly side. **(See Photo #5, Page 3).**
- f. **Photo #4, page 3** shows the striped path-of-travel for pedestrian foot traffic coming off Nordhoff Street into the property. If the building and site has received building department final inspection by the authoritative agency then, most likely, it has been approved without providing truncated domes prior to crossing a drive area.



1. Typical picture of paint over storefront-to-panel caulking that is peeling off caulking at exterior windows.



2. N.W. hollow metal door should have sheet metal overhead drip guard added to prevent water damage to door.



3. The 2-1/2 compact stalls to left of entry doors should have 4’ concrete parking bumpers installed to protect standard stalls.

- g. It should be noted that the building's entry sidewalk slab is slightly lifted higher than the building slab and can be a tripping hazard. Its not certain if it was poured in its original high position or if there is expansive soil causing it to lift. If it lifts much higher, it will cause the entry storefront doors to start to hang up. (No photo).
- h. The main water service on the south elevation is missing caulking where it penetrates the building. **(See Photo #6, hereon).**
- i. The fire sprinkler drain line at the south elevation should be painted to match the building. **(See Photo #7, hereon).**
- j. Two on-site sewer boxes were located. One in the asphalt approximately halfway between the building and south parking curb, east of the water service entry. The other is in the standard stall to the west of the entry slab.

**Note: Plumbing and site plan drawings do not show the underground site sewer as-built locations. It is recommended prior to the purchase, that the owner or seller furnish you with a complete set of as-built plans as noted on Energy Requirements note 3,a,b,c/AS-1. This includes any Operational Manual, maintenance schedule items, and warranties from the subs and contractor.**



4. Picture of striped Path-of-Travel from Nordhoff Street to building entry slab.



6. The main water service on the south side is missing caulking where it penetrates the building.



5. One of two holes at left and right of top of entry drive approach that were left after removal of temporary gates/chain link fencing. Fill holes.



7. The fire sprinkler drain at the south elevation should be painted to match the building.

- k The site is missing the HC/ADA conformance sign on pole required to the right of the entry drive approach with a 24" deep concrete footing per the Site Plan Sheet A-1 and Detail 11/A-8 as well as General Note #15/AS-1.
- l. Have owner/seller furnish you with the maintenance requirements for the two on-site storm drains at the south parking lot showing the Best Management Practices, or BPM. It is noted both on Sheet AS-4 within the Mitigated Negative Declaration dated 8/4/04, Page #8, and on Sheet AS-5, Page #8, Item #MM-43, that at both on site drains, to add stenciling reading, "NO DUMPING- DRAINS TO OCEAN" be installed. Did not see this during inspection.
- m. Mr. Goldberg has mentioned that he hasn't seen the exterior wall pack lighting in operation, while the adjacent building has been working. Please check that the time clock and photo cell on the roof is properly set and that the wall pack lighting fixtures do work.

**Roof and HV/AC Equipment:**

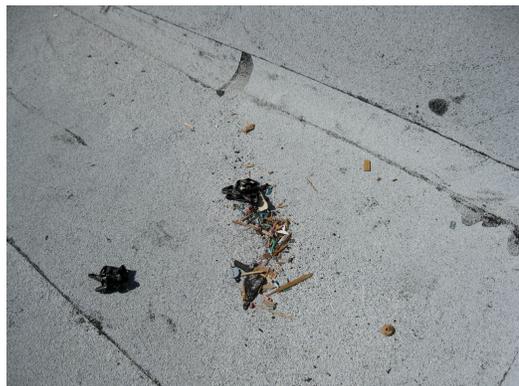
- a. The roof hatch hasn't been painted and has hot roofing tar all over it. **(See Photo #8, hereon).**
- b. There is a split in the mineral cap sheet at the south west outside corner atop the parapet wall adjacent to the roof hatch. Needs mastic sealer. **(See Photo #9, hereon).**
- c. There is an excessive amount of extra roofing granules that have washed to the low areas and scuppers of the roof and should be swept up and removed from the roof.
- d. There is miscellaneous roof debris, i.e.- wire cuttings, electrical tape, and metal knock outs scattered throughout the roof. **(See typical Photo #10, hereon).**



8. Roof hatch isn't painted and has roofing hot tar all over it.



9. Ripping in parapet cap sheet at S.W. corner adjacent to roof hatch. Check if roof has existing warranty for such repairs.



10. Typical of roof construction debris, wire cuttings, etc. left on roof after construction.

- e. The building plans called for four HVAC heat pump units to be installed. Only the two first floor units have been installed with the remaining second floor platforms only being covered with plywood. (See Photos #10, 11, hereon). 24 ga. sheet metal weatherproof covers per Detail 10/A-8 should be installed in lieu of plywood to protect the building's interior. Also, in **Photo #11** it shows that the copper condensate piping wasn't installed to an approved receptor as required by the National Plumbing Code. **Photo #12** shows the roof jack that was installed for the condensate pipe to be run below the roof to an approved receptor. An approved receptor is a floor sink, janitors sink, or tee into a sink's P-trap assembly. It, as well as many other roof jacks that are unused, are just covered with either electrical tape or duct tape which won't hold up to the elements. (See **Photo #13, hereon**). The same goes for both "future" roof top units pipe penetrations.
- f. The "future" roof exhaust curb over the West second floor area is again just covered in plywood. Fabricate and install a 24 ga. sheet metal cover per Detail 10/A-8 until an exhaust fan or tee flashing is installed to protect from the elements. (See **Photo #14, hereon**).



11. Copper condensate piping not properly run below roof through roof jack in photo #18 below to an approved receptor. West unit.



13. Typical photo of unused roof jack w/ black electrical tape over jack. Should be properly sealed with W.P. j-box/conduit thru roof.



12. Roof jack w/ duct tape covering hole, typical of all non-used jacks. This was for condensate to run below roof. Not used.



14. West roof future exhaust fan curb. Should have sheet metal cover made in lieu of plywood until exhaust fan is installed per 10/A-8 detail.

**Building Interior:**

- a. Most if not all of the interior Timely door frames have been installed too far off the finished concrete slab for normal, direct glue-down carpet installation. This is also a similar case of all the first floor drywall. The drywall has gaps from finished concrete of anywhere from 3/4" to 1-1/2" near the office stairs. This won't allow for proper backing behind standard 4" high coved rubber base and, when hit with a vacuum cleaner, it will be knocked backward into the void. **(See Photos #16, 17, hereon).**
- b. The sheet vinyl self-coving in both warehouse restrooms and the office restrooms is coming loose from the wall. The women's warehouse restroom shows evidence of prior attempted repairs using painters tape to adhere the glued coving to the concrete tilt up wall. In some cases, painting needs to be touched up just above the self coving and construction dust from drilling and installing the grab bars and accessories is atop the metal trim. **(See photos #18, 19 on Page 7 and Photos #21, 22 on Page 8).**
- c. All wall-hung restroom lavatory sinks are missing the soap dispensers called out on Note SD-1 on Details A,B,F/A-4. **(See Photo #20, Page 7)**
- d. The bathrooms in general need cleaning up of fixture labels on sinks and accessories and general mopping and wiping down.
- e. The provided Plumbing drawings showed installing a 12 gallon electric water heater, expansion tank, Smitty pan, etc. The owner has opted to install 208V electric Insta-hot units at the restroom sinks in lieu of. In all



15. Upper transition and lower transition roof ladder assemblies not painted. Paint with semi-gloss paint to match interior walls.



16. All interior 1st floor Timely door frames were installed too high off concrete floor for 1/4" flooring. Drywall also installed too high off



17. 3/4" to 1-1/2" gaps from concrete floor to drywall. When rubber base is installed it will get knocked in by vacuum w/o proper backing.

restrooms, each Insta-hot unit is feeding two wall hung lavatories. In the case of the single-use office restrooms, the plumber has opted to use stainless braided hoses from the Insta-hot in the northerly women’s restroom, and install a tee fitting and stainless braided hose through the wall into the men’s restroom faucet. This is against plumbing code and should have been hard piped within the wall to the other side and should be corrected. **(See Photo #24, Page 9)**

- f. As-builts from the owner/seller should include all plumbing as-built documentation including layout of interior and exterior underground waste piping, storm drain lines, (if not on a grading plan not provided to us), site gas piping, all site/interior water piping and actual restrooms installed.
- g. There are vertical cracks in the warehouse side of the drywall under the lower office windows in two locations. The photo doesn’t clearly show the crack in such a small photo, but they exist. **(See Photo #23, Page 8).**
- h. Both roof ladders haven’t been finish painted with semi-gloss paint to match the interior warehouse walls. **(See Photo #15, Page 6).**
- i. Although no fire rated separation is required between a B and S-2 occupancy, Title 24 Energy standards, since October of 2005, require that “conditioned” spaces such as offices have its insulating “envelope” moved up to the underside of the roof structure. This also requires that the office-to-warehouse walls separating the “conditioned” space be constructed full-height to the roof structure and insulated



18. Typical of warehouse restroom sheet vinyl self-coving coming loose from exterior south concrete wall in Women’s and Men’s restrooms.



19. Missing proper paint finish above sheet vinyl in S.W. corner of Women’s warehouse restroom.



20. Missing soap dispensers called for on plans at all wall-hung lavatories. All restroom fixtures are full of construction dust and labels.

full-height as well. The current second floor condition at the office-to-warehouse wall at grid line #3 in the east to west direction is built under the Volcraft-type web roof truss. (See Photo # 23, Page 9). The opening in the wall isn't closing off the "conditioned" space to create the "envelope" as required by code and should be closed off and insulated with matching wall insulation. Secondly, without the Insulation Certification from the insulation installer stating the insulation manufacturer's name, material identification, and R-value per the Energy Requirements Note #2/AS-1, it is difficult to determine whether the finish "F-2" cap sheet has type 6 multi-layer foil within the sub purlin void space and meets the R-19 minimum requirements per the Title 24 ENV-1-C form/AS-3.2 and Envelope Mandatory Measure form ENV-MM, Item #118a also on Sheet AS-3.2. This will be a difficult and costly endeavor if it has to be done at the time of the second floor build-out when it should be in place now.

- j. No portable 2A10BC, 5 lb. fire extinguishers have been furnished within the building per the Fire Department Note #10 called out on AS-1.
- k. Precautionary warning that entry aluminum storefront doors that are on the building face without the protection of being recessed in an alcove, soffit and/or awning, have the potential to leak in a heavy, wind-driven rain. Couple this with the fact that the exterior sidewalk is above the interior slab, water could be trapped between the raised exterior sidewalk and the threshold and possibly leak.



21. Another picture of sheet vinyl self-coving coming loose in Men's warehouse restroom.



22. Sheet vinyl self-coving coming loose on West wall of women's warehouse restroom.



23. There are cracks in the warehouse side of the drywall running vertically centered under two of the warehouse-to-office windows.

- l. Do the two existing smoke duct detectors, mounted on the plenums of the first floor HVAC units, have remote test/reset buttons? Or are they tied into the fire monitoring equipment and can be reset through that equipment? **(See Photo #25, hereon).**
- m. Confirm what the 2-hour over ride timer switch is for just outside the north office door in the warehouse? Is it part of the lighting control for after-hours operation?
- n. It doesn't appear that the building has any Tactile/Braille signage such as: "Exit" or "Exit Route" signage, as well as the International HC symbol adjacent to the entry pair of doors to notify the public that the building complies with HC. Most likely, inasmuch as the building interiors aren't complete, this as well as permanent 2nd floor guard railing and visual 2" contrasting stripes in the flooring of the stairs will have to be provided.
- o. The second floor is obviously missing the 1-1/2" of light weight concrete. If you are purchasing the building without it, it will have to be installed, or something similar, to finish out the second floor prior to installing floor coverings.
- p. Both the front office stair and warehouse stair's low walls were to have a black reveal with a paint-grade wood cap per Detail 4/A-9 and stair details on same page.



24. Women's office restroom Insta-hot stainless braided hose thru wall to Men's RR hot water doesn't meet Plumbing code. Repair.



25. Typical gap above whse.-to-office wall. Don't have Title 24 envelope for conditioned office space w/ opening in wall to roof.

**Closing Remarks:**

From what we were told, the building has received its building department final inspections and sign offs. With some of the discrepancies we've noted above, we find it hard to believe it actually has been finalized. Nonetheless, we have tried to include all the obvious and apparent problems and concerns of the building based upon our visual inspection only. No destructive testing, hazardous materials, or mold testing has occurred. Any unforeseen, hidden, or below-grade concerns have not been addressed by this report. We did not review a grading plan, soils report, fire sprinkler drawings, and/or any field copies of soils compaction or materials testing from during the construction of the said building.

Meanwhile, should you have any questions regarding the contents of the report, please do not hesitate to contact me.

Sincerely,

**Tom B. Riggins, President**

*Riggins Construction & Management, Inc.  
a California corporation*